



NEIGHBOURHOOD 3 Proposed Site Layout Plan	
	Site Boundary outlined in Red
	Applicants Landholding outlined in Blue
	Rights of way hatched in Yellow
	ESB "wayleave" constraint corridor, 50.0m in width and hatched in yellow.
ITM Centre Point Co-ordinate: X,Y: 569085,575174 Refer ITM Reference mark on Site Location Maps Copyright Ordnance Survey Ireland Ordnance Survey Ireland Licence No. AR 0120519 All dimensions are in millimeters All levels (in metres) are related to Malin Head Datum	
HOUSING MIX & TYPOLOGIES:	
<b>HOUSING MIX:</b>	
Detached:	8 Units
Semi-Detached:	50 Units
Terrace:	5 Units
Duplex:	
Ground floor Apt:	
First floor Duplex:	
1 Bedroom Apartment:	
2 Bedroom Apartment:	
<b>Total Residential Units:</b>	<b>63 Units</b>
<b>HOUSING TYPOLOGIES:</b>	
Total 4 Bed:	14 Units (22.0%)
Total 3 Bed:	47 Units (75.0%)
Total 2 Bed:	2 Units (3.0%)
<b>Total Residential Units:</b>	<b>63 Units</b>
<b>DENSITY:</b>	
Site Area:	29,361.07 Sq.m.
Developable Area:	6,569.63 Sq.m.
Number of Units:	63
<b>Density:</b>	<b>27.4 units/hectare</b>
<b>OPEN SPACE PROVISION:</b>	
Public Usable Open Space Provided:	3,250 Sq.m.
<b>Percentage of Usable Open Space:</b>	<b>14.27 %</b>
*Refer to key plan for Neighbourhood area re: spatial calculations.	
** Usable open space excludes greenway, wayleave recreation areas, embankments etc.	
***Refer to Design Statement: Public Open Space	
<b>Car Parking Provision:</b>	
133 spaces on-curtilage & road side.	
*Refer to Housing & Apartment Quality Audit	
<b>Bicycle Parking Provision:</b>	
Total Residents spaces:	0
Total Visitor spaces:	0
<b>Total Bicycle spaces:</b>	<b>0</b>
*Housing & Apartment Quality Audit	

The existing stone ditch/hedgerow is to be maintained and renovated where required. Include for providing a new impermeable boundary screen to the development side of the existing stone ditch/hedgerow. Screen to consist of a 2.4m high palisade fence set back from the existing stone ditch / hedgerow. Include for buffer planting to the development side of same. Refer to Architects boundary details and Landscape Architects drawings and specification

Low level rail to separate front garden space from public realm.

Planted embankment. Refer to CSR landscaping details.

Distributor roadway

Streetside Parallel Parking

TGD Part M compliant steps

Levelled to separate front garden space from public realm.

Low level rail to separate front garden space from public realm.

1.80m high brick wall

TGD Part M compliant steps

Planted embankment. Refer to CSR landscaping details.

1.80m high brick wall

Distributor roadway

Combined Pedestrian and bicycle pathway

Streetside Parallel Parking

Planted embankment. Refer to CSR landscaping details.

Planted embankment. Refer to CSR landscaping details.

Overhead KV Line Transferred Underground

Planted embankment. Refer to CSR landscaping details.

TGD Part M compliant steps

Proposed bus stop, bus shelter and related set down area. Refer to MHT details.

Planted embankment. Refer to CSR landscaping details.

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133 spaces on-curtilage & road side.  
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**Bicycle Parking Provision:**  
Total Residents spaces: 0  
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Planted embankment. Refer to CSR landscaping details.

Planted embankment separating housing at various levels. Embankment incorporates a 1.00m high plastered retaining wall with drainage detail. The planted embankment forms part of the curtilage of the lower garden and is not taken in charge. The boundary with adjoining properties to the side are stepped to follow the embankment.

Visitor Greenway Parking

Public amenity grass greenway

TGD Part M compliant steps

Scattered viewing point of view to the south west and kick about / exercise area.

Local play area. Refer to CSR landscaping details.

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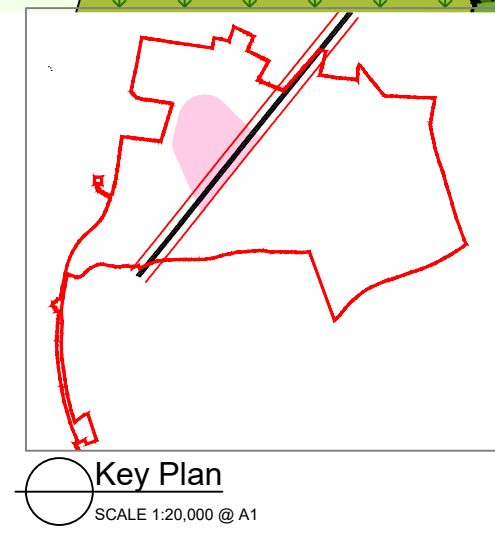
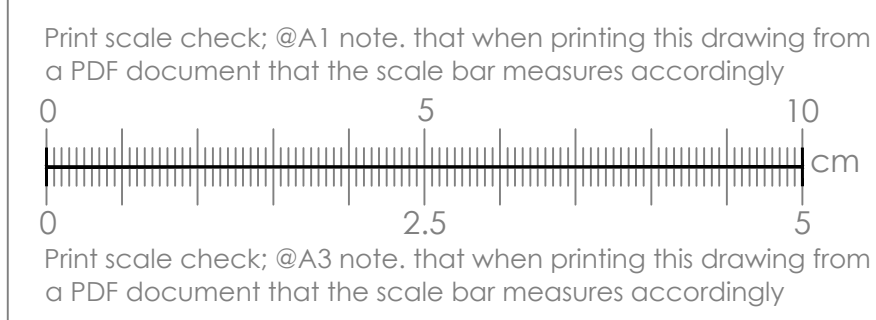
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Boundary Treatment Legend	
	Conc. post & Timber Panel fence (See Detail B-8)
	Timber rail 450mm high (See Detail B-8)
	600mm Hedgerow (See Detail B-8)
	800mm Hedgerow
	1.8m high brick wall
	Plastered and capped wall 1.8m high
	1.0 - 1.5m high retaining wall
	2.0m high retaining wall & fence on top 1.2m high
	1.8m high natural stone wall
	600mm stone wall
	400mm rail on planting
	Plastered and capped wall 2m high
	2m high wild mesh fence (See Detail A-A)
	2.4m high wild mesh fence (See Detail A-A)

Revision	Description	Date

Status: **PLANNING**

Project: MULTI UNIT RESIDENTIAL DEVELOPMENT  
Client: LONGVIEW ESTATES LTD.  
Address: LAMHARDANE, BALLYVOLLANE, CO. CORK.  
Date: 22/11/2019  
Scale: 1:500 @ A1  
Drawn By: JF  
Checked By: MC  
Approved By: PH

17-002-P-300

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Drawing Title: Neighbourhood 3 - General Arrangement Plan

Rev: